



City of Cumming Planning & Development

100 Main Street

Cumming, Georgia 30040

Phone: (770) 781-2024

Email: s.morgan@cityofcumming.net

Website: www.cityofcumming.net

Annexation Petition
into the
City of Cumming, GA

Annexation# 2019363

RECEIVED

JUL 08 2019

CITY OF CUMMING

Please Print Clearly

Applicant's Name: Atlantic Realty Development, LLC

Applicant's Mailing Address: One Alliance Center, 3500 Lenox Road, Suite 1250

City: Atlanta State: Georgia Zip: 30326

Applicant's Telephone Number(s): 404-591-2900

Address of Property to be Annexed: 1172 Turner Road, Market Place Blvd.

County Zoning Classification: CBD and M1 (City of Cumming; PSC)

Requested City Zoning Classification: PUD w/CUP for Alcohol Licenses & Sales and HB
C37-001, C37-002, West side of MPB East side of MPB

Tax Map # C36-012, 196-380 Parcel # _____ Land Lot # 4,5,6,67,68,1256,
1264,1265,1266

District # 2, 3 Size of Property in Acres: 151.384

Current Use of Property: Vacant Land

Petition **MUST** include a completed application with signatures and **ALL** attachments.

- An 8 ½ x 11 copy of the current **RECORDED BOUNDARY SURVEY** of said property showing the contiguity of said property to the existing corporate limits of the City of Cumming, Georgia (**Attached hereto as Exhibit "A"**).
- A copy of the current metes and bounds **LEGAL DESCRIPTION** that matches the boundary survey of the property being annexed (**Attached hereto as Exhibit "B"**).
- Survey must be signed and sealed by a Registered Land Surveyor.
- If property is to be rezoned upon annexation, you must file a separate Re-Zoning Application along with this petition.

Please answer the following questions to meet and comply with the United States Department of Justice, Civil Rights Division, Voting Section, Section 5 of the Voting Rights Act.

1. Intended Use of Land: Residential Commercial
 Existing Structure(s) Vacant
 Other (specify) _____

2. Number of persons currently residing on the property: N/A ;
Number 18 years or older: _____ ; Number registered to vote: _____

3. The number of all residents occupying the property: N/A

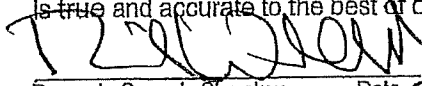
- American Indian
- Alaskan Native
- Asian
- Pacific Islander
- Black, not of Hispanic Origin
- Hispanic
- White, not of Hispanic Origin

4. The U.S. Department of Commerce requires this information so that they can provide Population Estimates. Attached information sheet Exhibit "C".

- A. Number of existing housing units
- B. List of addresses for each housing unit in the annexed area at the time of the annexation
- C. Disposition of existing structures (e.g. to be demolished, moved, or converted)
- D. Names of affected sub-division
- E. Names of affected multi-family complex
- F. Names of group quarters (such as: school dormitories, nursing homes or jails)
- G. Names of affected duplexes
- H. Names of mobile home parks

I/We the undersigned, being the owner(s) of real property of the territory described herein, understanding that the City of Cumming has sought and that Forsyth County does not oppose this annexation, respectfully request that the Mayor and City Council of the City of Cumming, Georgia annex this property into the City and extend the City boundaries to include the same.

Upon signature of this document, I/We the undersigned certify that all the information provided is true and accurate to the best of our knowledge.


 Property Owner's Signature Date 6/10/2019

Red Rock, LLC
Property Owner's Printed Name

 5/24/19
 Applicant's Signature Date

Atlantic Realty, Development, LLC
 Applicant's Printed Name
 by Richard Aaronson, Manager
3500 Lenox Road Suite 1250
 Applicant's Address
Atlanta, GA 30326
404-591-2900
 Applicant's Telephone Number

Annexation Application Checklist	Date Rec'd	Completed Application with Signatures
	Rec'd	Exhibit 'A' - Current Boundary Survey
	Rec'd	Exhibit 'B' - Legal Description
	Rec'd	Exhibit 'C' - Population Estimate Information
Date of Planning Commission Meeting (if rezoning)		
Dates Advertised		
Date of City Council Reading		Approved YES NO
Certified Mail	County Board of Commissioners Chairman	County Manager County Attorney

3. The number of all residents occupying the property: N/A

- American Indian
- Asian
- Black, not of Hispanic Origin
- White, not of Hispanic Origin
- Alaskan Native
- Pacific Islander
- Hispanic

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See Attachment
Property Owner's Signature Date

Property Owner's Printed Name

Richard Aaronson Date 5/24/19
Applicant's Signature

Atlantic Realty Development, LLC
Applicant's Printed Name
by Richard Aaronson, Manager

3500 Lenox Road Suite 1250
Applicant's Address
Atlanta, GA 30326

404-591-2900
Applicant's Telephone Number

Annexation Application Checklist:	Date Rec'd	Completed Application with Signatures
	Rec'd	Exhibit "A" - Current Boundary Survey
	Rec'd	Exhibit "B" - Legal Description
	Rec'd	Exhibit "C" - Population Estimate Information
Date of Planning Commission Meeting (if rezone):	_____	
Dates Advertised:	_____	
Date of City Council Reading:	_____	
	Approved:	YES NO
Certified Mail:	County Board of Commissioner Chairman	County Manager County Attorney

Exhibit "C" – Population Estimate Information

NOT APPLICABLE

A. Number of existing housing units

B. List of Addresses for each housing unit in the annexed area at the time of the annexation

C. Disposition of existing structures (e.g. to be demolished, moved or converted)

D. Names of affected Subdivision


E. Name of affected Multi-Family Complex

F. Names of Group Quarters (dormitories, nursing homes, jails, etc.)

G. Names of affected Duplexes

H. Names of Mobile Home Parks

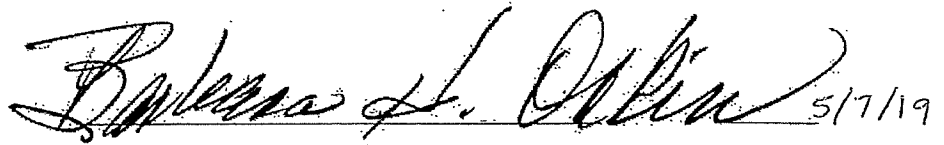
Property Owners' Signatures



Sanford H. Orkin, as Trustee of the Sanford
H. Orkin Revocable Trust Dated August 17,
2015

5/7/19

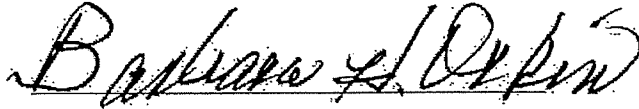
Date



Barbara H. Orkin, in her capacity as Trustee
of (i) the Sherri Orkin Life Trust U/A dated
December 27, 1973, (ii) the Laurie Orkin Life
Trust U/A dated December 27, 1973,
(iii) the Michael Orkin Life Trust U/A
dated December 27, 1973, and (iv)
the Kenneth Orkin Life Trust U/A dated
December 27, 1973

Date

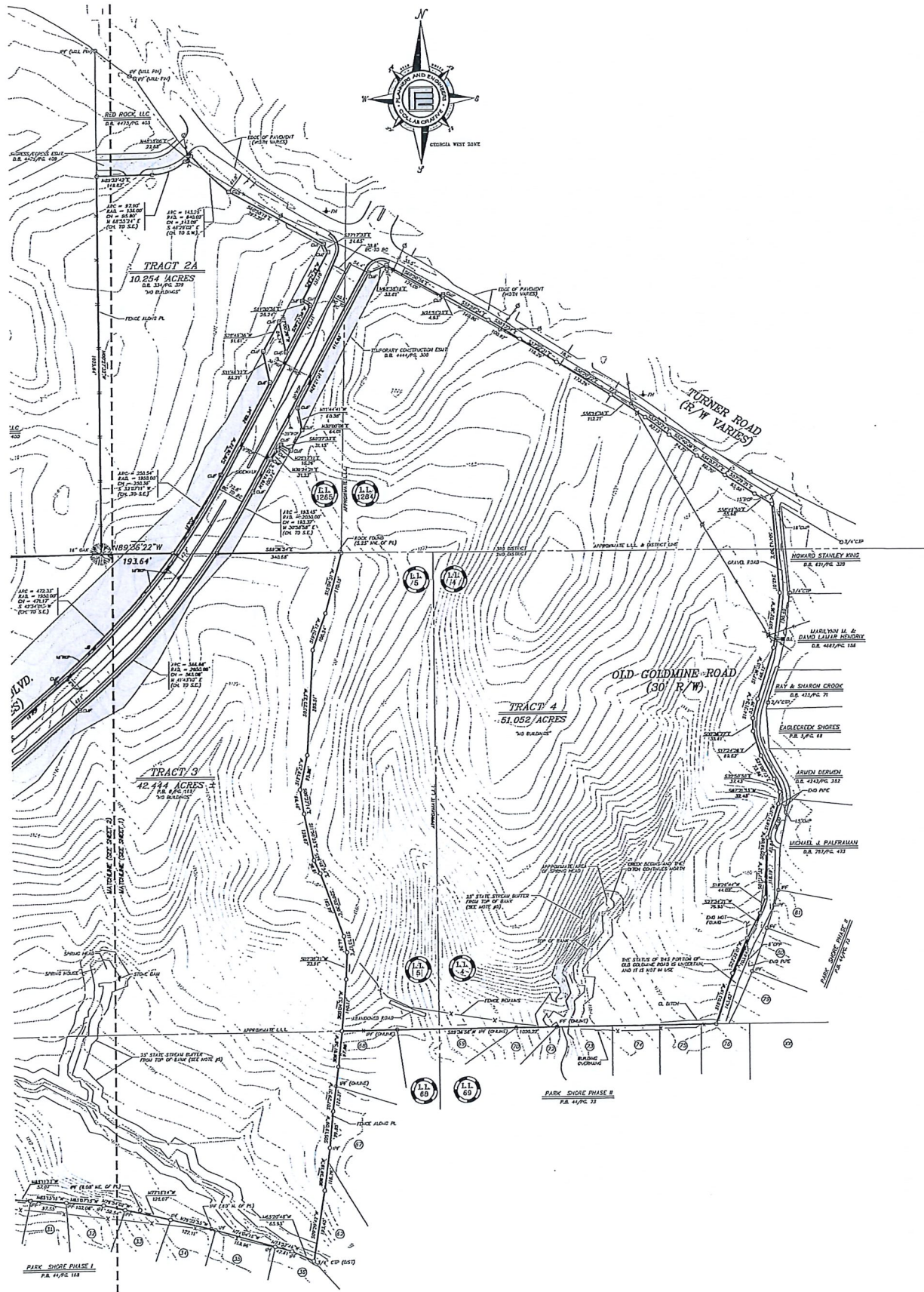
LONGBOAT HOLDING COMPANY, LLC,
a Georgia limited liability company



Barbara H. Orkin, Managing Member

5/7/19

Date



SHEET 2 OF 2

REV	DATE	DESCRIPTION	BY
1	11/25/10	SPLIT TRACT 2 INTO 2 & 2A	HWK

LEGAL DESCRIPTION
TRACT 4

ALL THAT TRACT OR PARCEL OF LAND lying and being in Land Lots 4, 5, 1264 & 1265 of the 2nd and 3rd District, Forsyth County, Georgia and being more particularly described as follows:

Beginning at a concrete monument found at the southeasterly right-of-way line of Market Place Boulevard (Variable R/W) with the southwesterly right-of-way line of Turner Road (Variable R/W), said point being the POINT OF BEGINNING; thence along said right-of-way line of Turner Road the following courses and distances: South 60 degrees 50 minutes 56 seconds East a distance of 174.09 feet to a point; thence North 26 degrees 51 minutes 23 seconds East a distance of 4.93 feet to a point; thence South 59 degrees 59 minutes 34 seconds East a distance of 140.86 feet to a point; thence South 58 degrees 12 minutes 17 seconds East a distance of 100.67 feet to a point; thence South 57 degrees 22 minutes 31 seconds East a distance of 118.29 feet to a point; thence South 58 degrees 20 minutes 22 seconds East a distance of 173.26 feet to a point; thence South 56 degrees 14 minutes 38 seconds East a distance of 112.21 feet to a point; thence South 53 degrees 30 minutes 24 seconds East a distance of 82.13 feet to a point; thence South 52 degrees 40 minutes 36 seconds East a distance of 94.72 feet to a point; thence South 54 degrees 53 minutes 57 seconds East a distance of 92.70 feet to a point; thence South 57 degrees 29 minutes 21 seconds East a distance of 95.86 feet to a point; thence South 58 degrees 49 minutes 50 seconds East a distance of 55.68 feet to a point at the intersection with the westerly right-of-way line of Old Goldmine Road (30' R/W); thence along said right-of-way line of Old Goldmine Road the following courses and distances: South 4 degrees 43 minutes 50 seconds East a distance of 242.01 feet to a point; thence South 7 degrees 2 minutes 36 seconds West a distance of 150.40 feet to a point; thence South 17 degrees 36 minutes 35 seconds West a distance of 146.12 feet to a point; thence South 14 degrees 31 minutes 54 seconds West a distance of 53.39 feet to a point; thence South 0 degrees 36 minutes 27 seconds East a distance of 35.61 feet to a point; thence South 17 degrees 24 minutes 28 seconds East a distance of 69.62 feet to a point; thence South 29 degrees 0 minutes 13 seconds East a distance of 73.86 feet to a point; thence South 22 degrees 50 minutes 50 seconds East a distance of 37.43 feet to a point; thence South 7 degrees 21 minutes 55 seconds West a distance of 32.45 feet to a point; thence South 18 degrees 11 minutes 37 seconds West a distance of 96.00 feet to a point; thence South 5 degrees 16 minutes 9 seconds West a distance of 43.84 feet to a point; thence South 01 degree 37 minutes 32 seconds West a distance of 118.19 feet to a point; thence South 19 degrees 26 minutes 44 seconds West a distance of 44.02 feet to a point; thence South 27 degrees 34 minutes 21 seconds West a distance of 76.95 feet to a point; thence South 23 degrees 35 minutes 1 second West a distance of 103.64 feet to a point; thence South 18 degrees 3 minutes 18 seconds West a distance of 143.82 feet to a point; thence leaving said right-of-way line and along the Land Lot line common to Land Lots 4 & 69 South 89 degrees 36 minutes 58 seconds West a distance of 1,020.22 feet to a point; thence North 5 degrees 4 minutes 53 seconds East a distance of 140.17 feet to a point; thence North 2 degrees 38 minutes 21 seconds East a distance of 73.91 feet to a point; thence North 11 degrees 15 minutes 17 seconds West a distance of 44.26 feet to a point; thence North 20 degrees 3 minutes 30 seconds West a distance of 182.99 feet to a point; thence North 26 degrees 48 minutes 54 seconds West a distance of 39.81 feet to a point; thence North 11 degrees 50 minutes 55 seconds West a distance of 128.87 feet to a point; thence North 9 degrees 22 minutes 14 seconds West a distance of 66.46 feet to a point;

thence North 12 degrees 19 minutes 23 seconds East a distance of 95.86 feet to a point; thence North 3 degrees 25 minutes 23 seconds East a distance of 285.51 feet to a point; thence North 19 degrees 51 minutes 12 seconds East a distance of 106.54 feet to a point; thence North 15 degrees 4 minutes 51 seconds East a distance of 170.15 feet to a point; thence North 89 degrees 36 minutes 54 seconds West a distance of 340.68 feet to a point on said southeasterly right-of-way line of Market Place Boulevard; thence along said right-of-way line the following courses and distances: 193.45 feet along an arc of a curve to the left, said curve having a radius of 2,050.00 feet and a chord bearing and distance of North 30 degrees 58 minutes 58 seconds East 193.37 feet to a point; thence North 28 degrees 44 minutes 1 second East a distance of 100.74 feet to a point; thence North 39 degrees 24 minutes 21 seconds East a distance of 31.23 feet to a point; thence North 28 degrees 17 minutes 11 seconds East a distance of 16.26 feet to a point; thence South 60 degrees 37 minutes 33 seconds East a distance of 31.15 feet to a point; thence North 30 degrees 0 minutes 8 seconds East a distance of 64.01 feet to a point; thence North 11 degrees 44 minutes 41 seconds West a distance of 60.38 feet to a point; thence North 28 degrees 21 minutes 31 seconds East a distance of 414.05 feet to a point; thence North 68 degrees 38 minutes 16 seconds East a distance of 52.81 feet to a point and the TRUE POINT OF BEGINNING.

Said tract containing 51.052 acres.

LEGAL DESCRIPTION TRACT 3

ALL THAT TRACT OR PARCEL OF LAND lying and being in Land Lots 5, 6, 67 & 68 of the 2nd and 3rd District, Forsyth County, Georgia and being more particularly described as follows:

To find the TRUE POINT OF BEGINNING, commence from a concrete monument found at the southeasterly right-of-way line of Market Place Boulevard (Variable R/W) with the southwesterly right-of-way line of Turner Road (Variable R/W), thence along said right-of-way line of Market Place Boulevard the following courses and distances: South 68 degrees 38 minutes 16 seconds West a distance of 52.81 feet to a point; thence South 28 degrees 21 minutes 31 seconds West a distance of 414.05 feet to a point; thence South 11 degrees 44 minutes 41 seconds East a distance of 60.38 feet to a point; thence South 30 degrees 0 minutes 8 seconds West a distance of 64.01 feet to a point; thence North 60 degrees 37 minutes 33 seconds West a distance of 31.15 feet to a point; thence South 28 degrees 17 minutes 11 seconds West a distance of 16.26 feet to a point; thence South 39 degrees 24 minutes 21 seconds West a distance of 31.23 feet to a point; thence South 28 degrees 44 minutes 1 second West a distance of 100.74 feet to a point; thence 193.45 feet along an arc of a curve to the right, said curve having a radius of 2,050.00 feet and a chord bearing and distance of South 30 degrees 58 minutes 58 seconds West 193.37 feet to a point and the TRUE POINT OF BEGINNING; thence leaving said right-of-way line South 89 degrees 36 minutes 54 seconds East a distance of 340.68 feet to a point; thence South 15 degrees 4 minutes 51 seconds West a distance of 170.15 feet to a point; thence South 19 degrees 51 minutes 12 seconds West a distance of 106.54 feet to a point; thence South 3 degrees 25 minutes 23 seconds West a distance of 285.51 feet to a point; thence South 12 degrees 19 minutes 23 seconds West a distance of 95.86 feet to a point; thence South 9 degrees 22 minutes 14 seconds East a distance of 66.46 feet to a point; thence South 11 degrees 50 minutes 55 seconds East a distance of 128.87 feet to a point; thence South 26 degrees 48 minutes 54 seconds East a distance of 39.81 feet to a point; thence South 20 degrees 3 minutes 30 seconds East a distance of 182.99 feet to a point; thence South 11 degrees 15 minutes 17 seconds East a distance of 44.26 feet to a point; thence South 2 degrees 38 minutes 21 seconds West a distance of 73.91 feet to a point; thence South 5 degrees 4 minutes 53 seconds West a distance of 140.17 feet to a point; thence South 6 degrees 01 minute 58 seconds West a distance of 97.88 feet to a point; thence South 7 degrees 29 minutes 51 seconds West a distance of 122.37 feet to a point; thence South 5 degrees 19 minutes 9 seconds West a distance of 99.85 feet to a point; thence South 6 degrees 59 minutes 18 seconds West a distance of 116.76 feet to a point; thence South 9 degrees 20 minutes 42 seconds West a distance of 193.45 feet to a point; thence North 65 degrees 20 minutes 48 seconds West a distance of 65.95 feet to a point; thence North 73 degrees 52 minutes 46 seconds West a distance of 47.61 feet to a point; thence North 74 degrees 4 minutes 16 seconds West a distance of 169.96 feet to a point; thence North 76 degrees 32 minutes 55 seconds West a distance of 127.11 feet to a point; thence North 77 degrees 18 minutes 14 seconds West a distance of 126.07 feet to a point; thence North 76 degrees 54 minutes 2 seconds West a distance of 59.54 feet to a point; thence North 85 degrees 7 minutes 15 seconds West a distance of 102.08 feet to a point; thence North 85 degrees 15 minutes 16 seconds West a distance of 97.55 feet to a point; thence North 85 degrees 11 minutes 13 seconds West a distance of 57.07 feet to a point; thence North 81 degrees 22 minutes 8 seconds West a distance of 42.12 feet to a

point; thence North 81 degrees 42 minutes 19 seconds West a distance of 72.61 feet to a point; thence North 87 degrees 40 minutes 44 seconds West a distance of 196.41 feet to a point; thence South 86 degrees 0 minutes 8 seconds West a distance of 77.94 feet to a point; thence North 3 degrees 5 minutes 13 seconds East a distance of 307.19 feet to a point at the centerline of a creek; thence 383.46 feet more or less along said centerline of creek, having a direct tie of North 73 degrees 7 minutes 22 seconds West a distance of 352.01 feet to a point; thence leaving said creek North 44 degrees 29 minutes 14 seconds East a distance of 138.53 feet to a point; thence North 22 degrees 02 minutes 01 seconds West a distance of 86.11 feet to a point on said right-of-way line of Market Place Boulevard; thence along said right-of-way line the following courses and distances: North 49 degrees 37 minutes 6 seconds East a distance of 1,108.10 feet to a point; thence 566.88 feet along an arc of a curve to the left, said curve having a radius of 2,050.00 feet and a chord bearing and distance of North 41 degrees 43 minutes 10 seconds East 565.08 feet to a point and the TRUE POINT OF BEGINNING.

Said tract containing 42.445 acres, more or less.

LAW OFFICES
LIPSCOMB, JOHNSON, SLEISTER, DAILEY & SMITH, LLP

112 NORTH MAIN STREET
CUMMING, GEORGIA 30040
TELEPHONE: 770-887-7761
FAX: 770-889-8123

EMORY LIPSCOMB
COY R. JOHNSON, P.C.
PUTNAM CLARK SMITH, P.C.
CHRISTOPHER D. LIGHT
SEAN COURTNEY
WILLIAM V. HANSARD

MICHAEL R. SLEISTER, P.C.
Of Counsel

RICHARD A. NEWTON, P.C.
Of Counsel

L. LEE DAILEY
(1939-2013)

July 8, 2019

VIA HAND DELIVERY

City of Cumming Planning and Zoning Department
Attn: Mr. Scott Morgan, Zoning Administrator
100 Main Street
Cumming, Georgia 30040

Re: Letter of Intent as required by Section 113-110(3) and 113-180 of the Zoning Ordinance of the City of Cumming, Georgia – Annexation and Rezoning of Atlantic Realty Development, LLC
Request No. 2019 _____

Dear Mr. Morgan:

This letter of intent is submitted pursuant to Section 113-110(3) and 113-180, and by reference section 113-112, of the Zoning Ordinance of the City of Cumming, Georgia, as part of Atlantic Realty Development, LLC (the “Applicant’s”) proposed Annexation, Rezoning and Conditional Use Permit Application (the application and all supplemental documents filed contemporaneously therewith are collectively referred to herein as the “Application”). The Applicant is the agent/authorized representative for the current deed record property owners of the property subject to this rezoning application, commonly known as Forsyth County Tax Parcel Numbers C37-001, C36-012, C37-002 and 196-380 (the “Subject Property”). The Applicant seeks to annex parcels C36-012, C37-002, C37-001 and 196-380 from Forsyth County to the City of Cumming. The Applicant also seeks to rezone the Subject Property from its existing Forsyth County, CBD (Commercial Business District), M1 (Restricted Industrial District) and City of Cumming, PSC (Planned Shopping Center) zoning classifications to the City of Cumming’s PUD (Planned Unit Development District) and HB (Highway Business) zoning classification for the purpose of allowing 322,000 commercial square footage, 348 rental, 40 single family, and 130 townhome residential units to be constructed on the Subject Property all as more fully detailed in the pre-application checklist. The land area percentage of open space is expected to be 45% for the PUD. The estimated time to build-out the PUD project is 5 to 6 years and could be longer depending on economic and marketing conditions.

Community Benefit Statement

The Applicant intends to develop a vibrant mixed use development with open space and a town green area. The community will be separated into the following: Club District (residential), Town Green District (residential, retail, bed & breakfast, and civic), Senior District (residential), Commercial District (office), Neighborhood District (residential), and Wellness (medical office) all as more fully detailed in the site plan. The development will follow the Design Guidelines and Design Standards that are submitted as part of this application.

The Applicant hereby addresses specific rezoning criteria and requested information as follows.

The existing zoning of surrounding properties are City of Cumming R-1, OCMS, PSC, and Institutional and Forsyth County- LR, R2R, O&I, and CBD. The majority of the Subject Property lies mostly in Forsyth County. Given that fact, the City of Cumming Future Land Use Map does not indicate a use for the Subject Property (other than a small part is designated Commercial) but based on the fact that it is already adjacent to existing residential and commercial districts, the proposed rezoning will not adversely affect the existing use or usability of nearby properties, but will rather complement existing use patterns.

Since most of the property has a Forsyth County zoning designation, the City's Comprehensive Plan and Future Land Use Map does not take the subject property or Applicant's proposal into consideration; however, the Applicant's proposal as Mixed Use and Commercial is in conformance with the Forsyth County Comprehensive Plan and Future Land Map.

The existing use of the Subject Property at its current zoning classification is for commercial uses, and the Applicant is requesting to convert this land into a vibrant mixed-use development, therefore it is anticipated that approval of the proposed rezoning to the PUD and HB zoning districts will raise and not diminish surrounding property values.

Approval of the Applicant's Application would not cause a safety hazard or noxious condition, would not reduce property values in the surrounding area, and therefore would promote the health, safety, morals and general welfare of the public. The relative gain to the public is also estimated to be significant as the proposed retail office use will mesh well into the existing commercial land uses in the area.

The Subject Property is physically suitable for development as requested by the Applicant under the PUD and HB zoning districts and is not currently suitable for development under its existing zoning designation.

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July 8, 2019

The Subject Property has remained vacant, to the best of the Applicant's knowledge and belief, nor are there existing or changed conditions affecting the use or development of the Subject Property which would give supporting grounds for disapproval of the rezoning request. As far as the Subject Property's zoning history is concerned, to the best of the Applicant's knowledge and belief, the Subject Property has at all times been zoned City of Cumming- PSC and Forsyth County CBD and M1 and has been used as it is currently, based on the Applicant's personal knowledge and belief.

The build out and transition of the Subject Property from its current use to the Applicant's proposed use will be gradual and in keeping with current and estimated growth patterns in the City, and it is therefore not anticipated that the proposed rezoning/development will result in or cause excessive or burdensome use of existing streets, transportation facilities, utilities, schools, parks, or other public facilities.

Applicant requests the following to be made a condition of zoning:

"The Final Rezoning will become void and ineffective if a land disturbance permit has not been issued for the Property within one hundred and eighty (180) days after the Final Rezoning has been completed (the "LDP timeframe"). In the event the LDP timeframe is not satisfied, then the zoning of the Property in existence prior to the Final Rezoning will remain in effect."

Refusal to grant approval of the requested annexation and rezoning as described in the Rezoning Application would impose a disproportionate hardship on the Applicant without accruing any benefits to any surrounding property owners. The provisions of the Zoning Ordinance that require the development of the property to be different from the Applicant's plan are unconstitutional in that they would constitute a taking of the Applicant's property rights without first paying fair, adequate and just compensation for such rights, in violation of Article I, Section 3, Paragraph 1 of the Constitution of the State of Georgia, and the Fifth and Fourteenth Amendments to the Constitution of the United States.

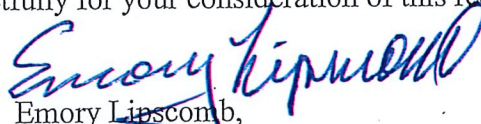
A refusal by the City of Cumming to approve this Application, so as to permit viable economic use of the property, would be unconstitutional and would discriminate in an arbitrary, capricious and unreasonable manner between the Applicant and the owners of similarly situated property in violation of Article I, Section 1, Paragraph 2 of the Constitution of the State of Georgia and the Equal Protection Clause of the Fourteenth Amendment to the Constitution of the United States. Furthermore, a decision denying the Annexation and Rezoning Application would constitute an arbitrary and irrational abuse of discretion and constitute an unreasonable application of local land use authority bearing no relationship to the public health, safety, morality or general welfare of the public in violation of Article I, Section 1, Paragraph 1 of the Constitution of the State of Georgia and

Page 4 of 4
July 8, 2019

the Due Process Clause of the Fifth and Fourteenth Amendments to the Constitution of the United States. The Applicant maintains that a refusal to approve the Annexation and Rezoning Application as requested would be an abuse of discretion under the power granted to local governments by the Georgia Constitution and the Zoning Procedures Law, O.C.G.A. Section 36-66-1, et seq.

The Applicant reserves all other rights and privileges under the Constitutions of the United States and the State of Georgia, and available at law and in equity, in the event that the City of Cumming refuses to approve this Application as requested by the Applicant. The Applicant respectfully asks that the Application be approved as requested and reserves the right to amend this Letter of Intent and the Application by supplementing additional responses and documents

Thank you very sincerely and respectfully for your consideration of this request.



Emory Lipscomb,
Attorney for Atlantic Realty Development, LLC

PROJECT DESIGN GUIDELINES

WESTSHORE

Mixed-Use Community



3500 Lenox Road, Suite 1250 - Atlanta, Georgia - www.atlanticresi.com



DEVELOPMENT PLAN



- I. TOWN GREEN DISTRICT
- II. CLUB DISTRICT
- III. SENIORS DISTRICT 55+
- IV. HOSPITALITY DISTRICT
- V. COMMERCIAL DISTRICT
- VI. NEIGHBORHOOD DISTRICT
- VII. WELLNESS DISTRICT

WESTSHORE
Mixed-Use Community

PROJECT SUMMARY

OVERALL TRACT SUMMARY:

Total Site Area: 57.85 AC.
 Lot Coverage: 55.0%
 Open Space: 45.0%

I. TOWN GREEN DISTRICT:

Mixed-Use Building Height: Min 3 stories / Max 4 stories
 Unit Size Range: 550 - 1,250 SF
 Unit Quantity: 100
 Retail and Community Space: 21,000 SF
 Bed & Breakfast (10 units x 600 SF) 6,000 SF
 Retail / Commercial Outparcels 25,000 SF
 Parking Required/Provided: 244 spaces
 Multifamily: 150 spaces (1.5 spaces / unit)
 Retail and Community: 11 spaces (0.5 SPACES / 1,000 SF)
 Bed & Breakfast: 8 spaces (0.75 SPACES / unit)
 Outparcels: 75 spaces (3.0 SPACES / 1,000 SF)

II. CLUB DISTRICT:

Club House Max Building Height: 3 Stories with a basement
 Unit Size Range: 650 - 1,350 SF
 Unity Quantity: 248
 Parking Required/Provided: 372 spaces (1.5 spaces/unit)

III. SENIORS DISTRICT 55+:

55+ Max Building Height: 5 stories
 Unit Size Range: 700 - 1,400 S.F.
 Unit Quantity: 120
 Parking Required/Provided: 120 spaces (1.00 space / unit)

IV. HOSPITALITY DISTRICT:

Hotel Max Building Height: 5 stories
 Room Size: 600 SF average gross size
 Room Quantity: 120
 Parking Required/Provided: 90 spaces (0.75 spaces / room)

V. COMMERCIAL DISTRICT:

Office Building Max Height: 4 stories over 2 levels of parking
 Building Size: 190,000 SF
 Building Quantity: 2 at 95,000 SF each
 Parking Required/Provided: 475 spaces (2.5 spaces / 1000 SF)

VI. NEIGHBORHOOD DISTRICT:

Single Family Max Height: 2 stories + Basement (45' height)
 Townhouse Max Height: 3 stories (45' Height)
 Single Family Minimum Lot Size: 5,000 SF (40'x125')
 Single Family Home Size: 30'x44'
 Single Family Quantity: 40
 Townhouse Sizes: 24'x48' & 26'x48'
 Townhouse Quantity: 130
 Parking Required/Provided: 340 spaces
 Single Family: 80 spaces (2 spaces / unit)
 Townhomes: 260 spaces (2 spaces / unit)

VII. WELLNESS DISTRICT:

Medical Office Building Max Height: 2 stories
 Building Size: 15,000 SF
 Building Quantity: 1
 Parking Required/Provided: 45 spaces (3.0 spaces / 1000 SF)

WESTSHORE

Mixed-Use Community

TOWN GREEN DISTRICT

Town Green Overview: The pedestrian-oriented Town Green District is the heart of Westshore. Two large mixed-use buildings surround the expansive town green, providing community space for residents and visitors. Green spaces and plazas offer opportunities for recreation, relaxation, and outdoor gatherings. Two three-story mixed-use buildings surrounding the Town Green feature residential flats over commercial spaces, including a bed and breakfast, chef-driven restaurant, microbrewery, and co-working space. Retail spaces are at the main lighted entrance off Marketplace Boulevard.



Mixed-Use Building Design Standards: Each of the mixed-use and retail buildings are designed in a Mercantile architectural style reminiscent of those found in southern downtowns, with commercial spaces on the ground floor and residential uses above. Design elements include:

- 100% brick facades (except for balcony insets, spandrel areas above and below windows, roof dormers and other projections, or any condition where load bearing brick conditions are not available)
- Mercantile architectural style (see image on following page)
- Flat roofs with architectural parapets
- Dark framed windows
- Balconies

TOWN GREEN DISTRICT



Elevation of Mixed-Use Buildings

WESTSHORE
Mixed-Use Community

TOWN GREEN DISTRICT



Commercial Spaces around the Town Green

WESTSHORE

Mixed-Use Community

PROJECT SUMMARY

Overall Concept: Westshore is a proposed mixed-use Town Center that will serve the City of Cumming for generations to come. The design emulates a charming southern town, radiating housing, commercial uses, and supportive retail in small blocks around a central town green. Westshore offers a rich mix of land uses and a great public realm, all connected by tree-lined pedestrian walkways, greens, and public plazas. The lively town green is surrounded by a small bed and breakfast, chef-driven restaurant, brewery, and co-working space with residences above. The green is designed in a flexible manner to serve as community space for events such as a farmers' market for locally grown agriculture, Movies on the Green, and local sidewalk art shows.



The commercial blocks include a hotel, office buildings, and retail space. In addition to the flats above commercial, the Club District residential blocks are centered around a large activity center with numerous amenities. Other components include a 55+ active adult community, and townhomes and single-family homes within the Neighborhood District.

Architectural Design Theme: The architectural theme of Westshore combines the Mercantile style for commercial buildings with the Southern Coastal style for the residential buildings, all constructed with high quality materials and attention to detail.

Architectural Review Process: Each of the commercial and residential development lots within Westshore will be subject to a recorded Declaration of Easements, Covenants, and Restrictions. The Declaration will establish an Architectural Control Committee which will enforce design guidelines and standards through the review and approval of both preliminary and final designs of all proposed buildings within Westshore.



WESTSHORE

Mixed-Use Community

CLUB DISTRICT

Club District Overview: The Club District will serve as the amenity hub of Westshore. It will feature *Westshore Club* with numerous amenities for residents of the Club District, Neighborhood District, and Town Green District as well as ten 3-story residential buildings surrounding the club.

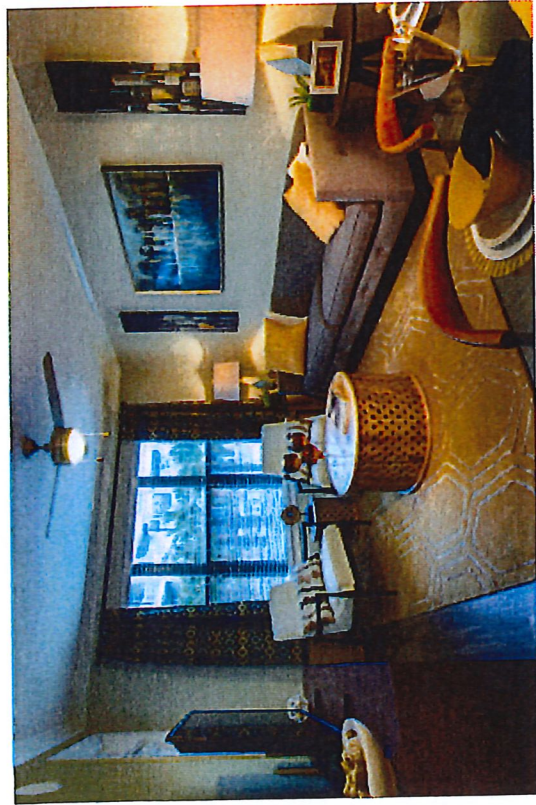


Westshore Club Amenities: Westshore Club is a two-story club building at the top of the Town Green with views of the resort pool behind. The club will feature a large Cyber Cafe with various furniture groupings for lounging, socializing, and informal business activity. A private dining room with kitchen is available for community and private functions. Other interior offerings include a large fitness center and yoga/spin room, game room with pool table, shuffleboard table and game table, mail center and automated parcel locker system. Outside will be a large resort-style pool with a variety of seating and lounging options and shade structure, community fire pit, outdoor seating groupings, and grill cabana with grills and outdoor dining settings.

Exterior Design Standards: The Club District buildings are designed in the Southern Coastal style. They will be 100% brick (except for balcony insets, spandrel areas above and below windows, roof dormers and other projections, and any condition where load bearing brick conditions are not available). Proposed elevations follow.

Interior Design Standards: The residential units will be appointed with the same quality finishes as those of for-sale single family homes. Finishes consist of a full stainless-steel appliance package (refrigerator, dishwasher, microwave, range/oven), quartz/granite countertops in the kitchens and bathrooms, tile backsplashes, vinyl plank flooring, nine-foot ceilings, a private patio/balcony on select units, LED lighting, and walk-in showers in select units.

CLUB DISTRICT



Typical Interior Finishes

WESTSHORE

Mixed-Use Community

CLUB DISTRICT



Elevation of Westshore Club Buildings

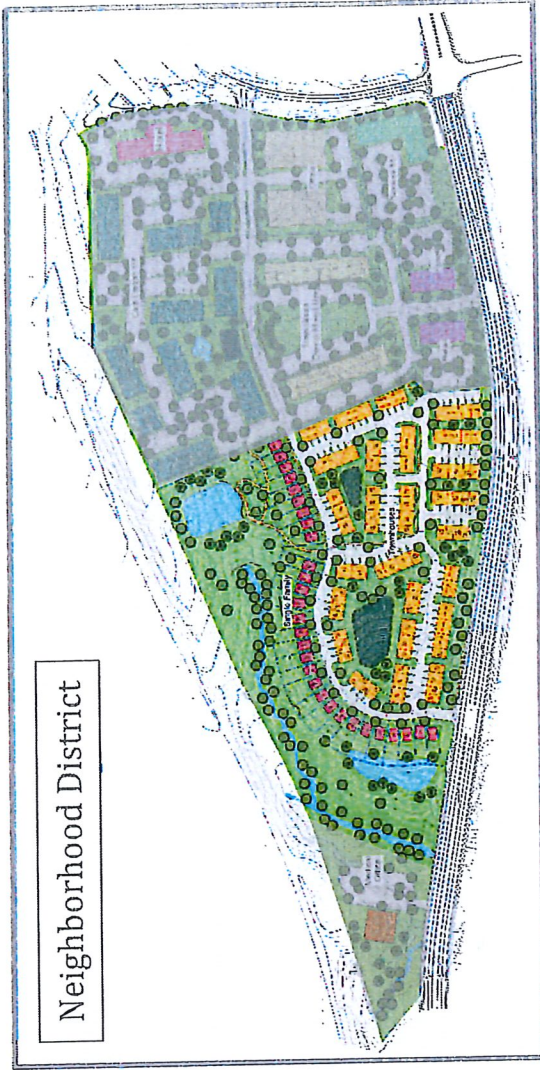
WESTSHORE
Mixed-Use Community

NEIGHBORHOOD DISTRICT

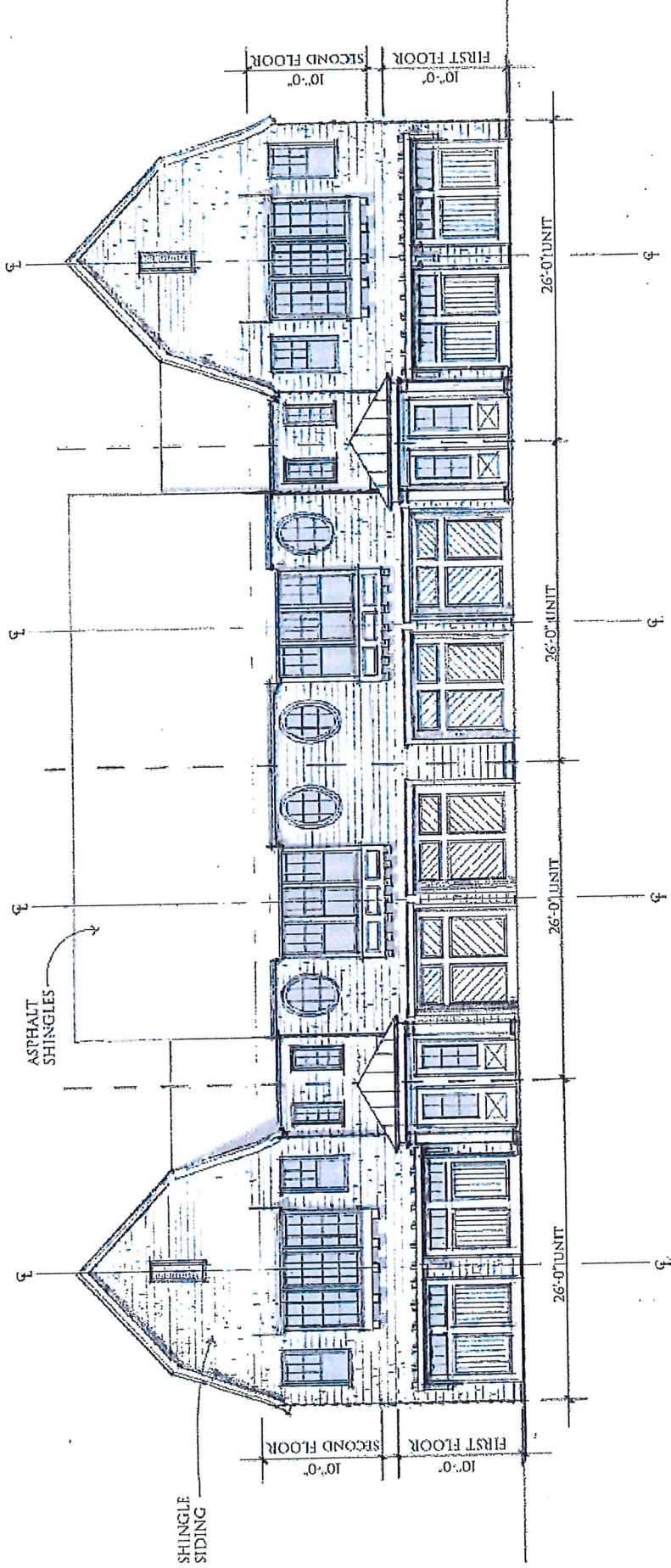
Neighborhood District Overview: The Neighborhood District features a variety of exquisitely designed single-family and townhome options. Located south of the commercial areas, the Neighborhood District offers a quiet ambiance with dog park, linear parks, community park with open multi-use field, and a multi-use walking and bike trail.

Exterior Design Standards: The Neighborhood District buildings are designed in the Southern Coastal style. They will be a combination of brick, stone, shingle, and siding with a great deal of architectural detail. Conceptual elevations follow that are representative of this style, however final design will likely differ and be subject to approval of the community's Architectural Control Committee.

Interior Design Standards: The residential units will be appointed with the same quality finishes as those of for-sale single family homes. Finishes consist of a full stainless-steel appliance package (refrigerator, dishwasher, microwave, range/oven), quartz/granite countertops in the kitchens and bathrooms, tile backsplashes, hard surface flooring, private patios, and walk-in showers in select units.

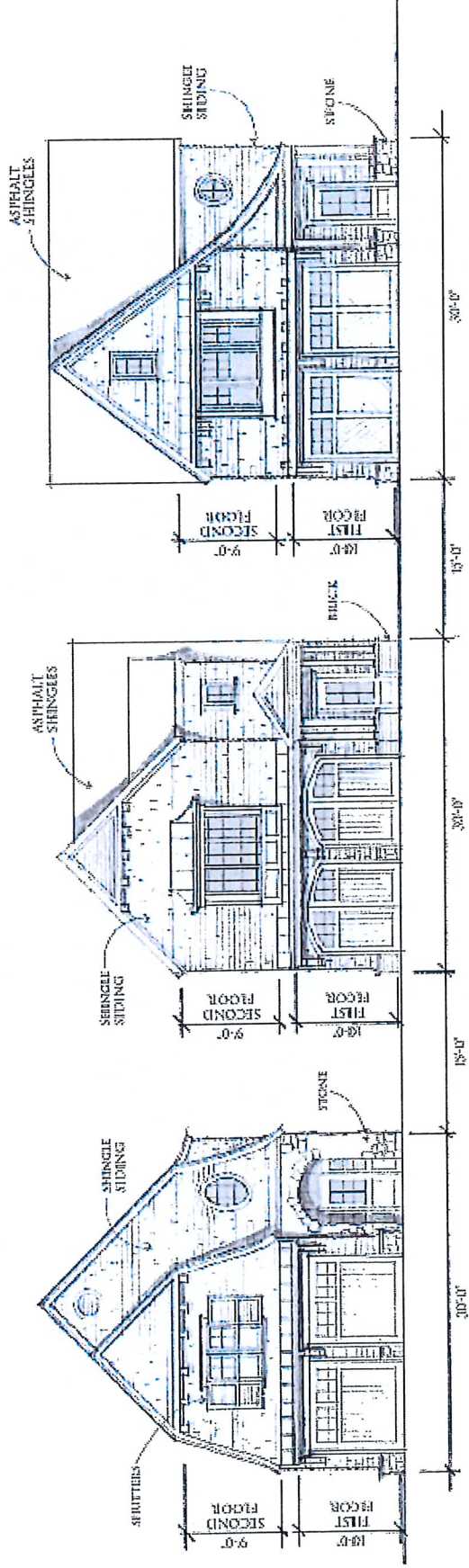


NEIGHBORHOOD DISTRICT



Townhome Elevation

NEIGHBORHOOD DISTRICT

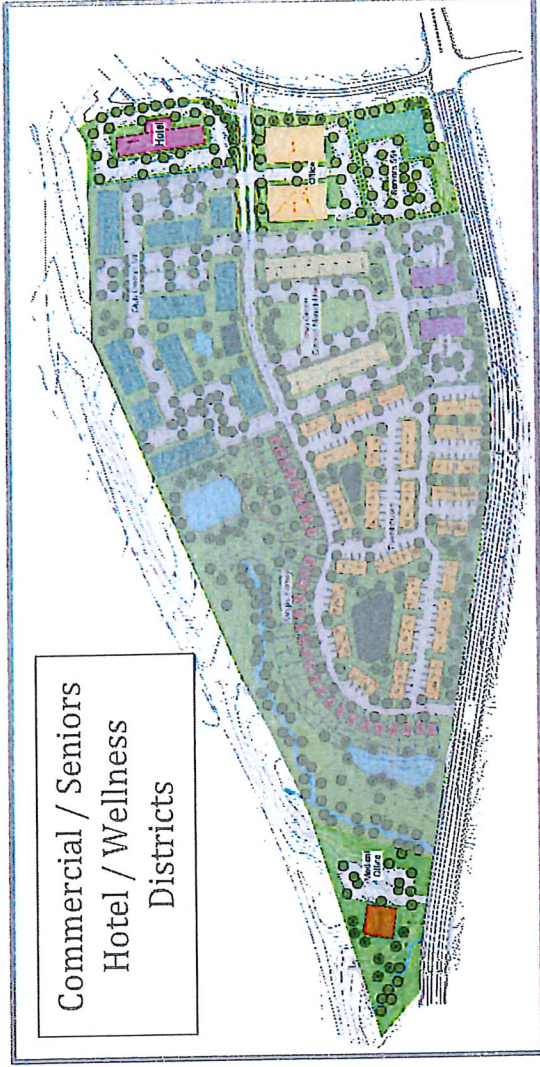


Single-Family Home Elevation

COMMERCIAL/SENIORS/HOTEL DISTRICT

Overview: The remaining Districts include commercial office buildings, a senior 55+ facility, hotel, and wellness center.

Design Standards: The design standards of these districts will be determined through the approval process.



PUD DESIGN STANDARDS

WESTSHORE

Mixed-Use Community



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PUD DESIGN STANDARDS

TAB	SECTION
1	Development Plan
2	Permitted Uses
3	Maximum Building Heights
4	Building Setbacks
5	Minimum Lot Area
6	Minimum Lot Width
7	Maximum Building Coverage
8	Floor Area Ratios
9	Residential Density
10	Dwelling Size
11	Open Space Plan
12	Parking
13	Subdivision Plan
14	Phasing Plan
15	Building Elevations
16	Street Cross Section

1 - DEVELOPMENT PLAN



2 - PERMITTED USES

A.	Town Green District	Multifamily Residential: Retail and Community Space: Bed & Breakfast Retail / Commercial Outparcels	100 units 21,000 SF 10 units / 6,000 SF 25,000 SF
B.	Club District	Multifamily Residential Westshore Club	248 units 6,000 SF
C.	Seniors District	55+ Residential Facility	120 units
D.	Hospitality District	Hotel	120 keys
E.	Commercial District	Office Space	190,000 SF / 2 buildings
F.	Neighborhood District	Townhomes Single Family Homes	130 units 40 units
G.	Wellness District	Office Space	15,000 SF

3 - MAXIMUM BUILDING HEIGHTS

A. Town Green District	Mixed-Use Buildings	3 stories
B. Club District	Multifamily Residential Westshore Club	3 stories (4 w/basement terrace) 2 stories
C. Seniors District	55+ Residential Facility	5 stories
D. Hospitality District	Hotel	5 stories
E. Commercial District	Office Space	4 stories over 2 levels parking
F. Neighborhood District	Townhomes Single Family Homes	3 stories (45' Height) 2 stories with basement (45' Height)
G. Wellness District	Office Space	2 stories



4 - BUILDING SETBACKS

Building Setbacks from Turner Road shall be 50 feet from back of curb unless otherwise illustrated on the Development Plan.

Building Setbacks from Marketplace Boulevard shall be 40 feet from back of curb unless otherwise illustrated on the Development Plan.

No building setbacks shall be required between internal parcels.

All other Building Setbacks are per Final Approved Development Plan unless amended or altered.

5 - MINIMUM LOT AREA

The Minimum Lot Area is per Final Approved Development Plan unless amended or altered.



6 - MINIMUM LOT WIDTH

The Minimum Lot Width is per Final Approved Development Plan unless amended or altered.

7 - MAXIMUM BUILDING COVERAGE

The Maximum Building Coverage is per final Approved Development Plan unless amended or altered.



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10 - DWELLING SIZE

The Maximum Floor Area Ratio is per Final Approved Development Plan unless amended or altered.



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8 - MAXIMUM FLOOR AREA RATIO

The Maximum Floor Area Ratio is per Final Approved Development Plan unless amended or altered.



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9 - RESIDENTIAL DENSITY

The Maximum Residential Density is 8.95 units per acre (518 units / 57.85 acres).



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10 - DWELLING SIZE

Dwelling Sizes are per Final Approved Development Plan unless amended or altered.



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11 - OPEN SPACE

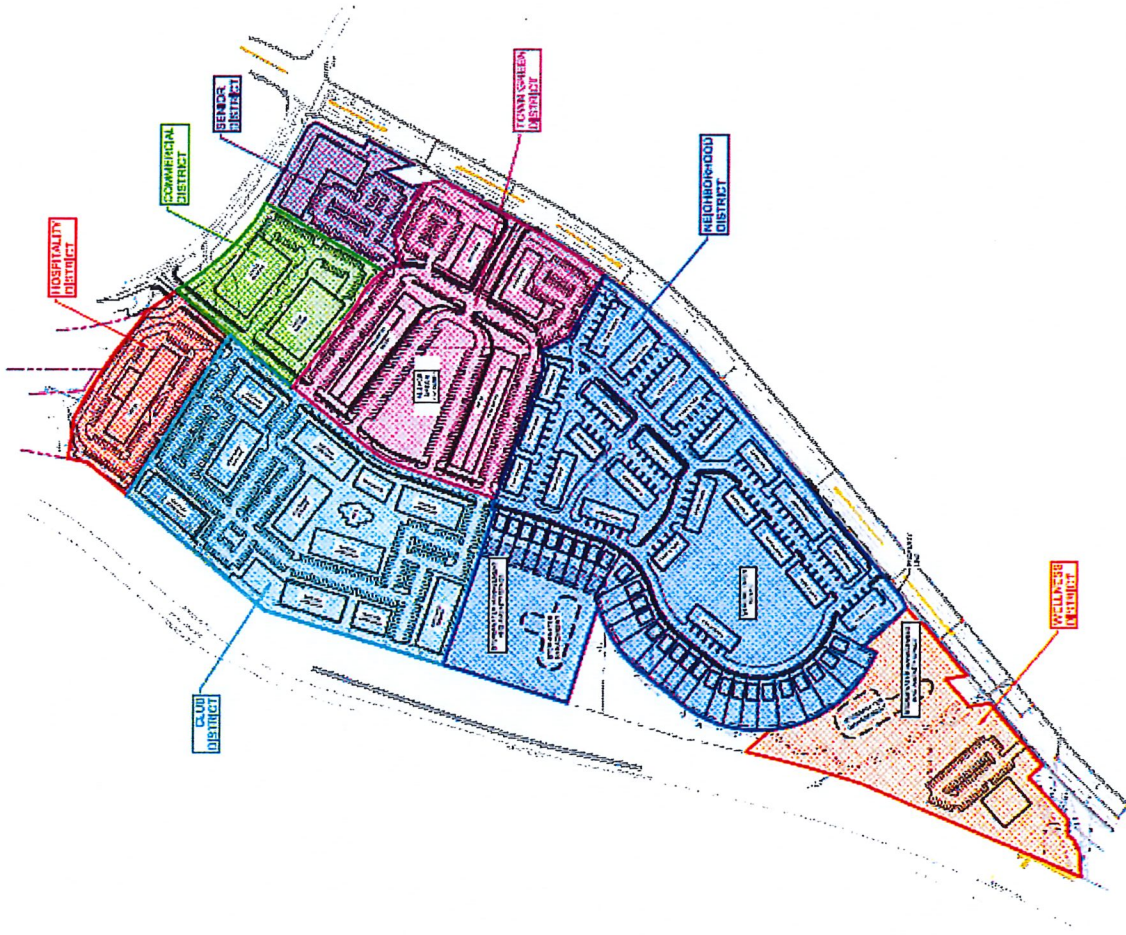
Open Space is per Final Approved Development Plan unless amended or altered.



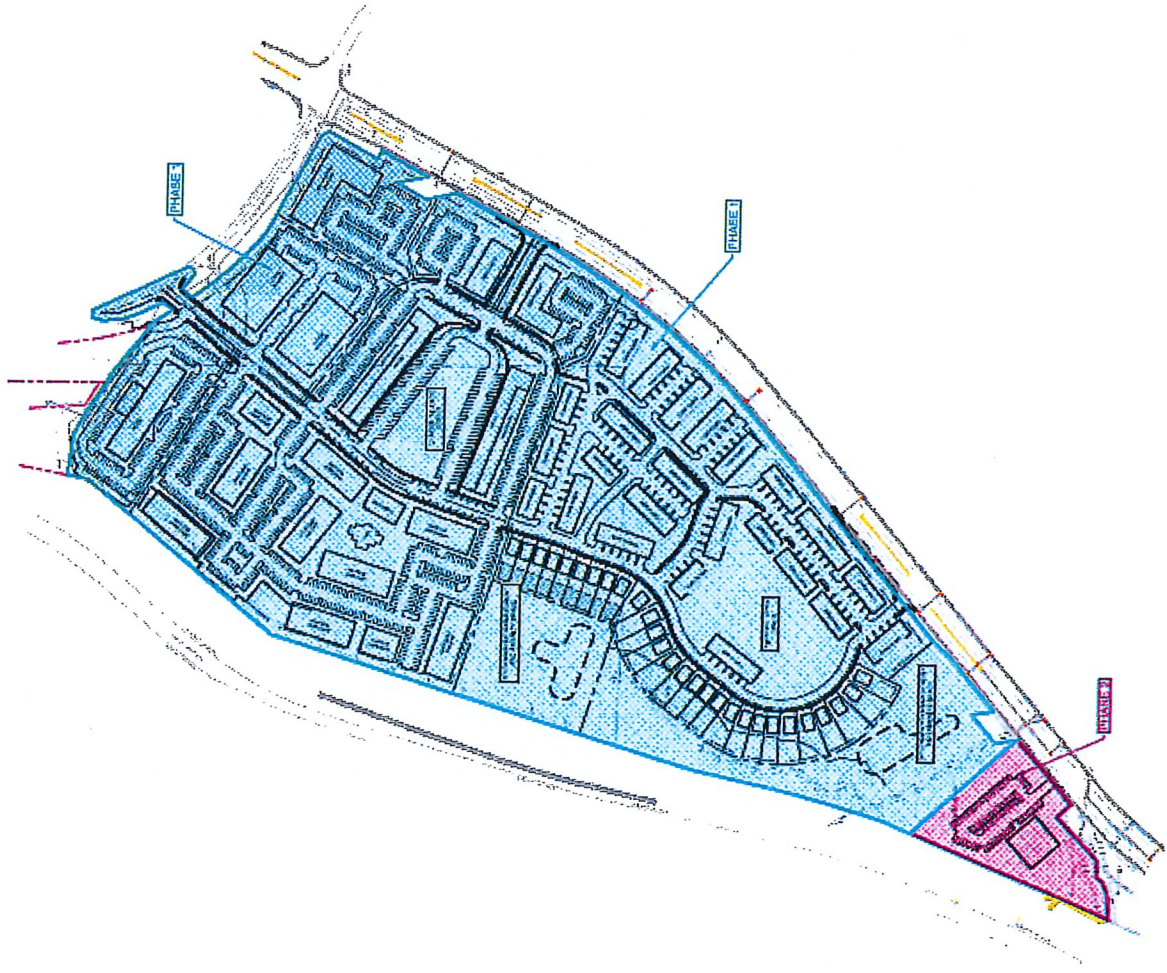
12 - PARKING

A.	Town Green District	Multifamily Residential: Retail and Community Space: Bed & Breakfast Retail / Commercial Outparcels	150 spaces (1.5 spaces / unit) 21,000 SF 10 units / 6,000 SF 25,000 SF
B.	Club District	Multifamily Residential Westshore Club	372 spaces (1.5 spaces / unit) Included above
C	Seniors District	55+ Residential Facility	10 spaces (1.0 spaces / unit)
D	Hospitality District	Hotel	90 spaces (0.75 spaces / key)
E	Commercial District	Office Space	475 spaces (2.5 spaces / 1000 SF)
F	Neighborhood District	Townhomes Single Family Homes	260 spaces (2 spaces / unit) 80 spaces (2 spaces / unit)
G	Wellness District	Office Space	45 spaces (3 spaces / 1000 SF)

13 - SUBDIVISION PLAN



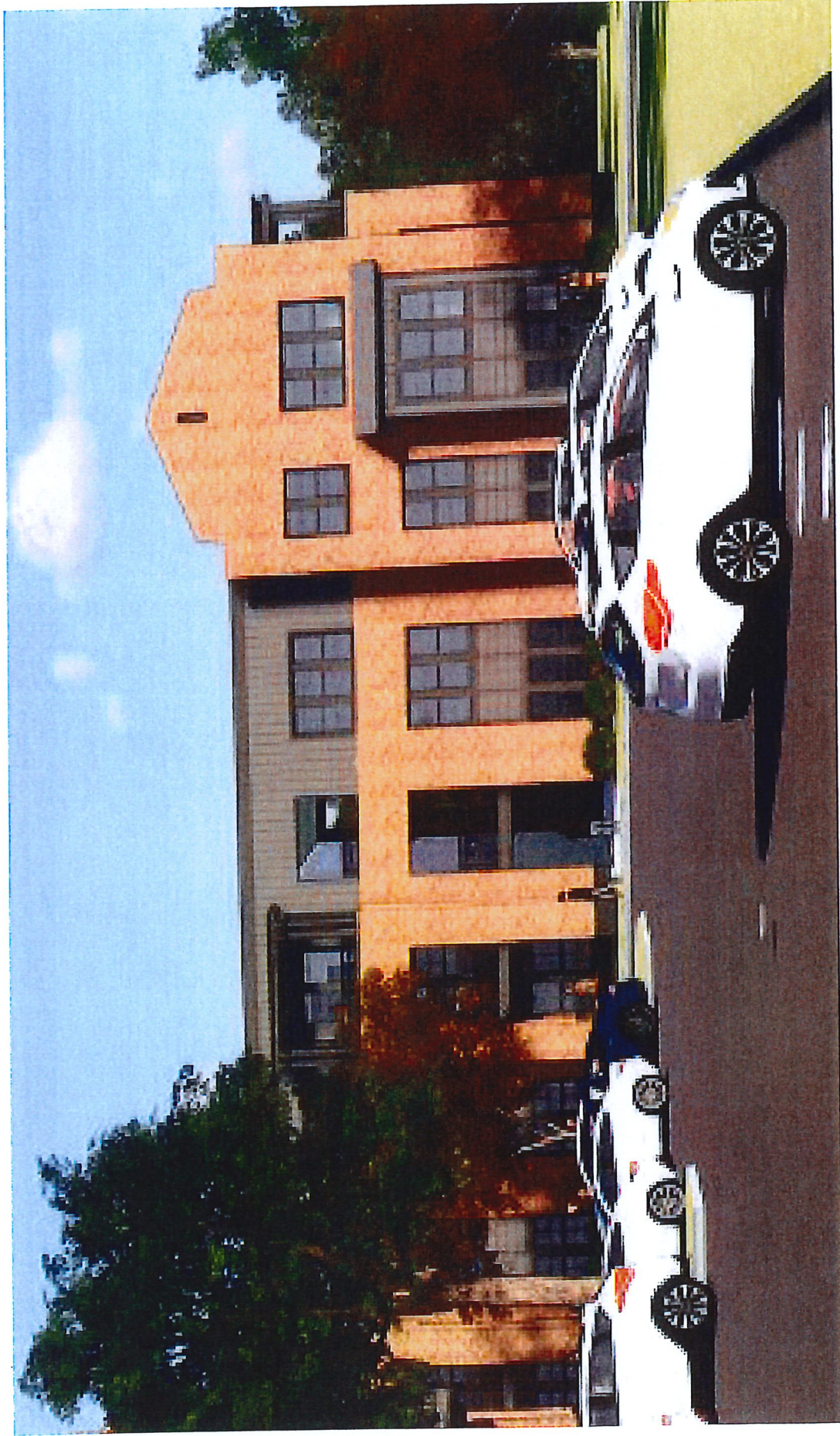
14 - PHASING PLAN



15 - BUILDING ELEVATIONS



15 - BUILDING ELEVATIONS



16 - STREET CROSS SECTION

Street Cross Sections to be provided.



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**CITY OF CUMMING
PRE-APPLICATION CHECKLIST FOR
PLANNED UNIT DEVELOPMENT ZONING APPLICATION**

Date of Pre-submission conference (required): September 6, 2018

Is this PUD expected to be considered a Development of Regional Impact (DRI)? Yes

APPLICATION MATERIALS TO BE SUBMITTED

Submitted?	Application Material or Component Required (Secs. 113-110 and 113-180 Cumming zoning ordinance)	Notes/Comments
Yes	Rezoning application form	
Yes	Metes and bounds legal description	
Yes	Survey plat	
Yes	Application fee	
Yes	Copies (specified #) of application materials	
Yes	Revised pre-application checklist	
Yes	Letter of intent	
Yes	PUD Development plan (Sec. 113-180; See also Sec. 113-111)	
Yes	Proposed land uses (see further details in this checklist)	
Yes	Dimensional requirements (see further details in this checklist)	
Yes	Subdivision plan	
Yes	Phasing plan	
Yes	Architectural elevations of principal buildings	
Yes	Street cross-sections	
Yes	Design guidelines (strongly encouraged; not required)	

ALL LAND USES SUMMARY ANALYSIS

Compliant?	Land Use Summary	Notes/Comments
Yes	Does the development plan provide for vertical mixed use (see definition in Sec. 113-180)? (encouraged/not required)	
Yes	Does the development plan provide for horizontal mixed use (see definition in Sec. 113-180)? (some form of mixed use is required)	

Check all land uses that are included in the development plan:

Included?	Land Use	% land area	Included?	Land Use	% land area
Yes	Detached, single-family		Yes	Office- Institutional	
Yes	Dwellings in vertical mixed-use building(s)	Per Site Plan	Yes	Commercial (retail/service)	Per Site Plan
Yes	Fee simple townhouses		Yes	Other (specify)	
Yes	Freestanding multi-family dwellings		Yes	Civic space	
	Residential, other (specify)		Yes	Open space	
Yes	Institutional Residential				

RESIDENTIAL LAND USE SUMMARY ANALYSIS

Check all types of residential and, if the particular type of residential use is included, complete additional information for residential land uses that are incorporated into the development plan. Note: if there is more than one size (type) of single-family lots, specify for the different types:

Included?	Residential Use	Acreage	% Total Land Area	Total # Units	Density (units per acre)	Notes/ Comments
Yes	Detached, single-family lots (type 1)	Per Plan		40	Per Plan	
	Detached, single-family lots (type 2)					
	Detached, single-family lots (type 3)					
Yes	Units in vertical mixed-use building(s)	Per Plan		100	Per Plan	
Yes	Fee-simple townhouses	Per Plan		130	Per Plan	
Yes	Free-standing multi-family	Per Plan		248	Per Plan	
Yes	Other (specify) (Active Adult)	Per Plan		120	Per Plan	
	Subtotal all Residential	\$7.89 acres		638	9.0 upa w/o Active Adult 11.0 upa w/Active Adult	

DIMENSIONAL REQUIREMENTS FOR LAND USES

For each type of type of land use included, provide the following dimensional requirements that will govern development if approved. Note: if there is more than one size (type) of single-family lots, specify for the different types:

1. Single-family, detached, residential (type 1) (if applicable)

Dimensional Requirement	Requirement	Comment/Note
Building height (max.) (feet)	45'	
Building height (max.) (# stories)	2 stories	
Lot size (min.)	5,000 SF	
Lot width (min.)	40'	
Building coverage (max.)	Per Plan	
Floor area per dwelling (min.)	Per Plan	
Setback, principal building, front (min.)	Per Plan	
Setback, principal building side (min.)	Per Plan	
Setback, principal building, rear (min.)	Per Plan	
Setback, accessory building/structure (min), from side or rear property line	Per Plan	
Open space (min.) (% of land area devoted to this use)	Per Plan	
Parking (min. spaces per unit)	2	

2. Single-family, detached, residential (type 2) (if applicable)

Dimensional Requirement	Requirement	Comment/Note
Building height (max.) (feet)	N/A	
Building height (max.) (# stories)		
Lot size (min.)		
Lot width (min.)		

City of Cumming, Planned Unit Development (PUD) Zoning Pre-Application Checklist

Building coverage (max.)		
Floor area per dwelling (min.)		
Setback, principal building, front (min.)		
Setback, principal building side (min.)		
Setback, principal building, rear (min.)		
Setback, accessory building/structure (min), from side or rear property line		
Open space (min.) (% of land area devoted to this use)		
Parking (min. spaces per unit)		

3. Single-family, detached, residential (type 3) (if applicable)

Dimensional Requirement	N/A	Requirement	Comment/Note
Building height (max.) (feet)			
Building height (# stories) (max.)			
Lot size (min.)			
Lot width (min.)			
Building coverage (max.)			
Floor area per dwelling (min.)			
Setback, principal building, front (min.)			
Setback, principal building side (min.)			
Setback, principal building, rear (min.)			
Setback, accessory building/structure (min), from side or rear property line			
Open space (min.) (% of land area devoted to this use)			
Parking (min. spaces per unit)			

4. Vertical mixed-use buildings (if applicable)

Dimensional Requirement	Requirement	Comment/Note
Building height (max.) (feet)	50'	
Building height (max.) (# stories)	4	
Building height (min.) (feet)	36'	
Building height (min.) (# stories)	3	
Building coverage (max.)	Per Plan	
Floor-to-area (FAR) ratio, residential component only (max.)	Per Plan	
Floor-to-area (FAR) ratio, non-residential component only (max.)	Per Plan	
Floor-to-area (FAR) ratio, all uses combined in building (max.)	Per Plan	
Floor area per dwelling (min.)	Per Plan	
Floor area per dwelling (avg.)	Per Plan	
Setback, vertical mixed-use building, front (min.)	Per Plan	
Setback, vertical mixed-use building side (min.)	Per Plan	
Setback, vertical mixed-use building, rear (min.)	Per Plan	
Front build-to line, vertical mixed use building (min./max)	Per Plan	
Civic/open space (min.) (% of land area devoted to this use)	Per Plan	
Parking (min. spaces per unit)	1.5	
Are any of the parking spaces proposed to be in structured parking?	No	

5. Fee-simple townhouse (if applicable)

Dimensional Requirement	Requirement	Comment/Note
Building height (max.) (feet)	45'	
Building height (max.) (# stories)	3	
Lot size (min.)	1152 SF	24'x48'

City of Cumming, Planned Unit Development (PUD) Zoning Pre-Application Checklist

Lot width (min.)	24'	
Building coverage (max.)	Per Plan	
Floor area per dwelling (min.)	Per Plan	
Setback, principal building, front (min.)	Per Plan	
Setback, principal building side (min.)	Per Plan	
Setback, principal building, rear (min.)	Per Plan	
Setback, accessory building/structure (min), from side or rear property line	Per Plan	
Open space (min.) (% of land area devoted to this use)	Per Plan	
Parking (min. spaces per unit)	Per Plan	

6. Freestanding multi-family residential (if applicable)

Dimensional Requirement	Requirement	Comment/Note
# of units (1 bedroom) and percent of total units	144 / 58%	
# of units (2 bedroom) and percent of total units	82 / 33%	
# of units (3 bedroom) and percent of total units	22 / 9%	
Building height (max.) (feet)	45'	
Building height (max.) (# stories)	3+basement	
Building coverage (max.)	Per Plan	
Principal building separation (min.) (feet)	Per Plan	
Floor area per dwelling (min.)	Per Plan	
Setback, principal building, front (min.)	Per Plan	
Setback, principal building side (min.)	Per Plan	
Setback, principal building, rear (min.)	Per Plan	
Setback, accessory building/structure (min), from side or rear property line	Per Plan	
Open space (min.) (% of land area devoted to this use)	Per Plan	
Active recreation (specify type) (min.) (% of land are devoted to this use)	Per Plan	
Parking (min. spaces per unit)	1.5	

7. Freestanding institutional residential (if applicable) (e.g., nursing home)

Dimensional Requirement	Requirement	Comment/Note
# of beds	120 units	
Building height (max.) (feet)	60'	
Building height (max.) (# stories)	5	
Building height (min.) (feet)	48'	
Building height (min.) (# stories)	4	
Building coverage (max.)	Per Plan	
Floor-to-area (FAR) ratio (max.)	Per Plan	
Setback, principal building, front (min.)	Per Plan	
Setback, principal building side (min.)	Per Plan	
Setback, principal building, rear (min.)	Per Plan	
Front build-to line, principal building (min./max)	Per Plan	
Civic/open space (min.) (% of land area devoted to this use)	Per Plan	
Parking (min. spaces per 1,000 square feet building or per unit)	1.25 / unit	

8. Freestanding office-institutional (if applicable)

Dimensional Requirement	Requirement	Comment/Note
Building height (max.) (feet)	72'	
Building height (max.) (# stories)	6	
Building height (min.) (feet)	48'	

City of Cumming, Planned Unit Development (PUD) Zoning Pre-Application Checklist

Building height (min.) (# stories)	4	
Building coverage (max.)	Per Plan	
Floor-to-area (FAR) ratio (max.)	Per Plan	
Setback, principal building, front (min.)	Per Plan	
Setback, principal building side (min.)	Per Plan	
Setback, principal building, rear (min.)	Per Plan	
Front build-to line, principal building (min./max)	Per Plan	
Civic/open space (min.) (% of land area devoted to this use)	Per Plan	
Parking (min. spaces per 1,000 square feet building)	2.5	

9. Freestanding commercial/retail/service (if applicable)

Dimensional Requirement	Requirement	Comment/Note
Building height (max.) (feet)	20'	
Building height (max.) (# stories)	1	
Building height (min.) (feet)	15'	
Building height (min.) (# stories)	1	
Building coverage (max.)	Per Plan	
Floor-to-area (FAR) ratio (max.)	Per Plan	
Setback, principal building, front (min.)	Per Plan	
Setback, principal building side (min.)	Per Plan	
Setback, principal building, rear (min.)	Per Plan	
Front build-to line, principal building (min./max)	Per Plan	
Civic/open space (min.) (% of land area devoted to this use)	Per Plan	
Parking (min. spaces per 1,000 square feet building)	3.0	

PUD DESIGN CONSIDERATIONS

Compliant?	Design Consideration (as applicable)	Notes/Comments
Yes	Are principles of “new urbanism” and “traditional neighborhood development” incorporated?	
Yes	Is a vertical mixed use building(s) incorporated and are the streetscapes appropriate?	
Yes	If freestanding commercial or institutional buildings are incorporated, do they abut an existing arterial street, or do they to be located on lots that have direct access to a collector or arterial street?	
Yes	If freestanding commercial or institutional buildings are incorporated, is at least 5 percent (5%) of the lot set aside for civic spaces and streetscapes?	
Yes	Is there a mixture of housing types provided?	
Yes	Are fee-simple townhouses proposed adjacent to vertical mixed use?	
N/A	For smaller-sized detached single-family residential lots, is a grid pattern of streets incorporated?	
Yes	For smaller-sized detached single-family residential lots are town greens comprising at least 10 percent of the land area devoted to such use incorporated?	
N/A	For larger detached single-family lots, particularly those on the periphery, are principles of “conservation subdivisions” followed?	
N/A	If conservation subdivision design is incorporated, is there at least 30% open space provided for the land area devoted to that use?	
Yes	Does the application provide for phasing such that any free-standing multiple-family residential buildings proposed shall not be	

City of Cumming, Planned Unit Development (PUD) Zoning Pre-Application Checklist

	constructed until after development of one or more vertical mixed-use buildings and/or commercial and institutional buildings?	
Yes	Do natural buffers for riparian areas, greenbelts, passive recreation areas, active outdoor recreation areas, village greens, courtyards, pocket parks, civic (hardscape) spaces, landscaping, and other amenity areas, or appropriate combinations thereof, comprise at least 20 percent of the land area within the PUD?	

CONSISTENCY WITH COMPREHENSIVE PLAN POLICIES

Compliant?	Planning Considerations (as applicable)	Notes/Comments
	Is the property to be developed as a PUD designated for mixed use on the future land use plan map of the comprehensive plan?	
	Does the PUD design ensure efficient, functional and compatible land use patterns?	
	Are office-institutional uses used as a transition between freestanding commercial and residential subdivisions?	
	Overall, does the proposed project meet the general environmental policies?	
	Does the proposal preserve all or a substantial amount of the flood plains and wetlands on site?	
	Have "better stormwater site design practices" been considered and if appropriate, incorporated?	
	Does the PUD provide for "life cycle" or "mixed generation" communities?	
	Does the PUD mix different types of housing units (detached single family, attached single family, duplex, quadraplex, etc.) on the same site or within the same development?	
	Is active recreation incorporated into the PUD? (e.g., community center), appropriate to the context and size of residential development provided?	
	Does the PUD attain a ratio of 1.5 jobs for every housing unit within the development, or alternatively, does nonresidential building floor area equal or exceed the total residential floor area within the PUD?	
	Does the PUD incorporate an extension of the grid street system?	
	Does the PUD provide for the connection of streets to provide a local street network that serves as an alternative to the arterial and collector street system?	
	Does the PUD provide for inter-parcel vehicle access points, where compatible, between different parts of the development?	
	Is there a defined system for pedestrian access appropriate to the context (e.g., sidewalks, streetscapes, trails, etc.), linking all parts of the PUD and to the existing external sidewalk system of the city?	